

# PINNACLE AT TARPON RIVER

FORT LAUDERDALE, FLORIDA



5101 N.W. 21ST AVENUE, SUITE 360  
FORT LAUDERDALE, FL 33309  
T: (954) 332-0184  
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AA0002517

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DESIGNED JP

DRAWN MM/DZ

CHECKED JP

☒ JOSEPH JOHN PASQUALE, JR.  
AR 0009243

☐ HARLAN L. KURITZKY  
AR 0009666

## PINNACLE AT TARPON RIVER

805 S.E. 3rd AVE  
FT. LAUDERDALE, FLORIDA

PROJECT NO. 1266

DATE: 02/22/13

R E V I S I O N S

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### TEAM

OWNER:  
LOFTS AT TARPON RIVER, LLC.  
9400 S DADELAND BLVD, SUITE 100  
MIAMI, FL 33156

ARCHITECTURE:  
PASQUALE KURITZKY ARCHITECTURE, INC.  
5101 NW 21ST AVENUE, SUITE 360  
FORT LAUDERDALE, FLORIDA 33309

CIVIL:  
KETH AND ASSOCIATES, INC  
301 E. ATLANTIC BLVD.  
POMPAÑO BEACH, FL 33060

LANDSCAPE:  
FONT DESIGNS  
7551 WILES ROAD, SUITE 105B  
CORAL SPRINGS, FL 33067

PHOTOMETRICS  
VITAL ENGINEERING, INC  
7100 SW 99TH AVE, SUITE 202  
MIAMI, FL 33173

## COVER SHEET AND SHEET INDEX

DRC SUBMITTAL

A-0.0



# Page 1: DRC Site Plan - Applicant Information Sheet

**INSTRUCTIONS:** The following information is requested pursuant to the City's Unified Land Development Regulations (ULDR). The application must be filled out accurately and completely. Please print or type and answer all questions. Indicate N/A if does not apply.

**NOTE:** To be filled out by Department

Case Number	1-D13
Date of complete submittal	

**NOTE:** For purpose of identification, the PROPERTY OWNER is the APPLICANT

Property Owner's Name	SEE ATTACHED LETTER & CONTRACT
Property Owner's Signature	
Address, City, State, Zip	
E-mail Address	
Phone Number	
Proof of Ownership	<input type="checkbox"/> Warranty Deed or <input type="checkbox"/> Tax Record

**NOTE:** If AGENT is to represent OWNER, notarized letter of consent is required

Applicant / Agent's Name	JOSEPH PASQUALE, PASQUALE KURITZKY ARCHITECTURE
Applicant / Agent's Signature	
Address, City, State, Zip	5101 NW 21 AVE FORT LAUDERDALE, FL 33304
E-mail Address	JOE@PKARCHITECTURE.COM
Phone Number	954 332 0189
Letter of Consent Submitted	

Development / Project Name	Pinnacle at TARPON RIVER
Development / Project Address	Existing: 805 SE 3RD AVE New:
Legal Description	PARCELS PARTS PLAT TOGETHER WITH LOT 1 & 2 LESS 20' EAST 1/4 ML OF LOT 3-8, 10, 12 BLOCK D BRYAN'S SUBDIVISION
Tax ID Folio Numbers (For all parcels in development)	504210160020 504210280880 50421028901 504210280760 504210280840 504210280860 50421028910 504210280870 504210280900 504210280940
Request / Description of Project	MIXED USE RESIDENTIAL/OFFICE/SERVICES
Total Estimated Cost of Project	\$ 30.5 MIL (Including land costs)

Current Land Use Designation	RAC
Proposed Land Use Designation	-
Current Zoning Designation	RAC-CG
Proposed Zoning Designation	-
Current Use of Property	VACANT (WITH ONE STRUCTURE)
Number of Residential Units	112
Non-Residential SF (and Type)	31,089 (SEE SHT A-5.0)
Total Bldg. SF (include structured parking)	215,472
Site Adjacent to Waterway	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Dimensional Requirements	Required/EXISTING	Proposed
Lot Size (SF / Acreage)	67,956 SF 1.56 AC	
Lot Density	71.8 DU/AC	
Lot Width	280' (3RD AVE)	
Building Height (Feet / Levels)	-	98'-10" 10 STORIES
Structure Length	-	248'-5" C 3RD AVE
Floor Area Ratio	-	3.6
Lot Coverage	-	63.4%
Open Space	-	36.6%
Landscape Area	-	13.5%
Parking Spaces	-	173

Setbacks (Indicate direction N,S,E,W)	Required	Proposed
Front [E]	50' FR. 2 OF R.O.W	50'
Side [N]	35' "	35'
Side [S]	35' "	35'
Rear [W]	35' "	30'

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☒ JOSEPH JOHN PASQUALE, JR.  
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☐ HARLAN L. KURITZKY  
AR 0009686

## PINNACLE AT TARPON RIVER

805 S.E. 3rd AVE  
FT. LAUDERDALE, FLORIDA

PROJECT NO. 1266  
DATE: 02/22/13

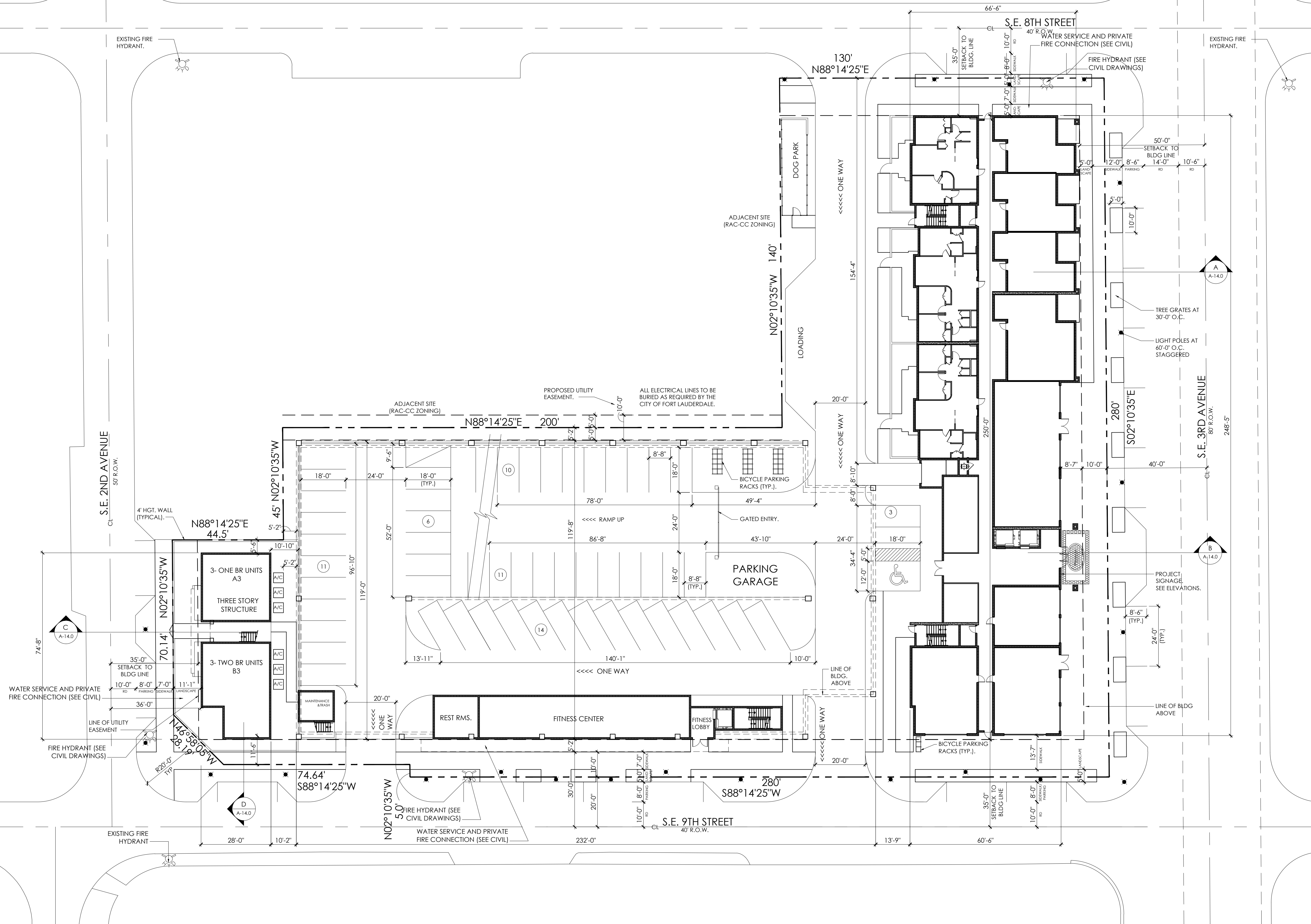
REVISIONS

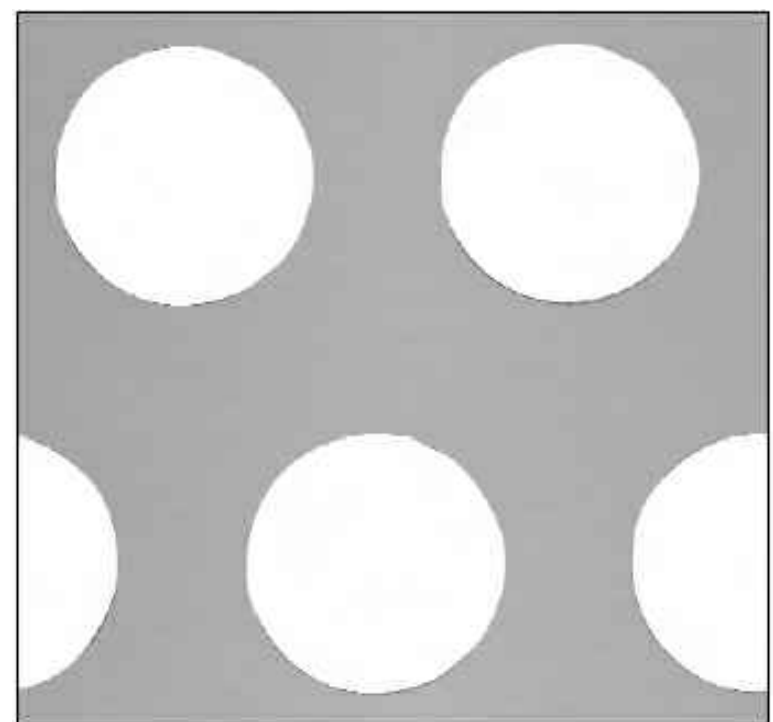
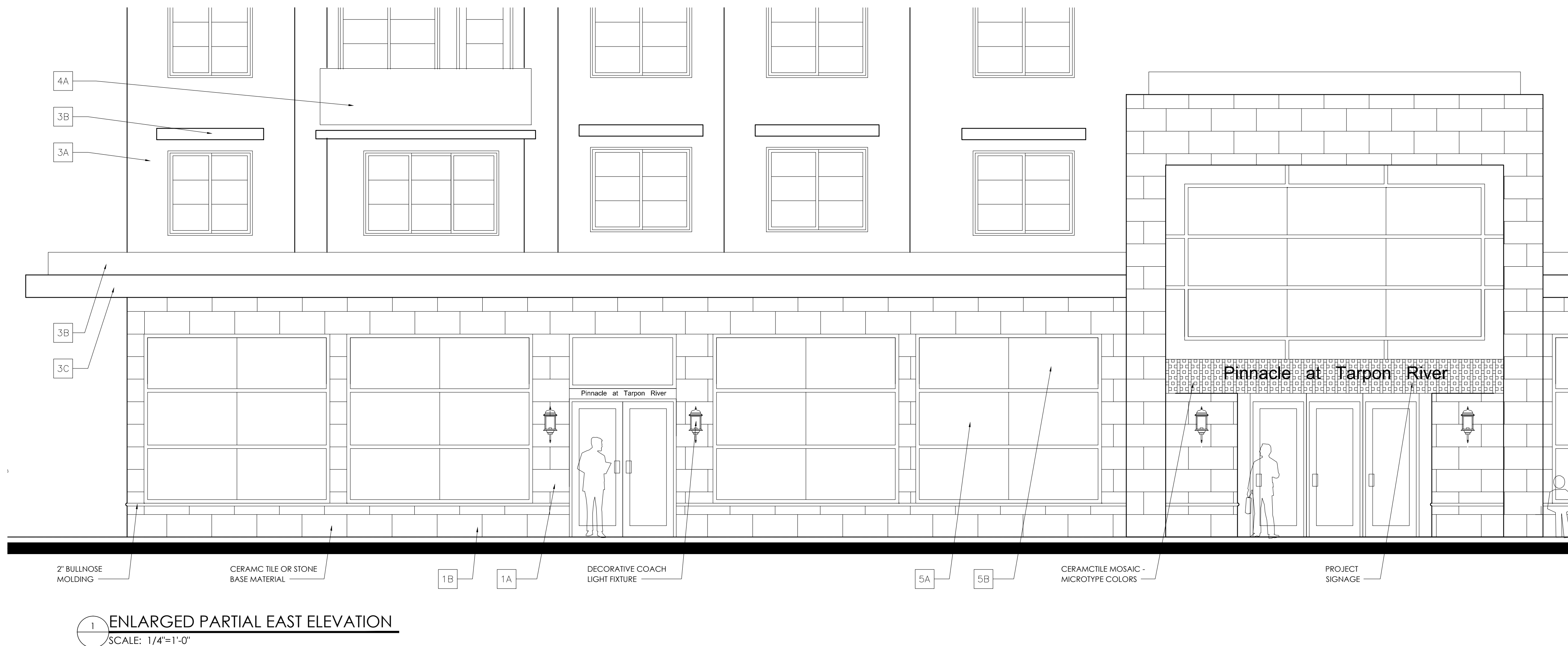
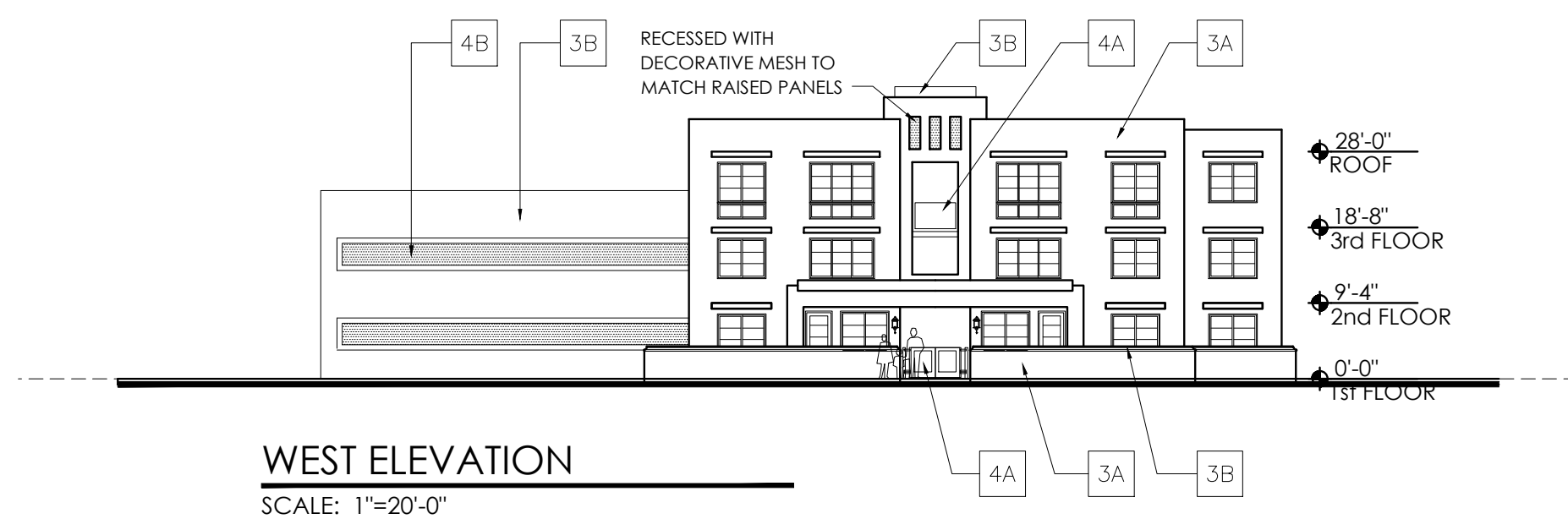
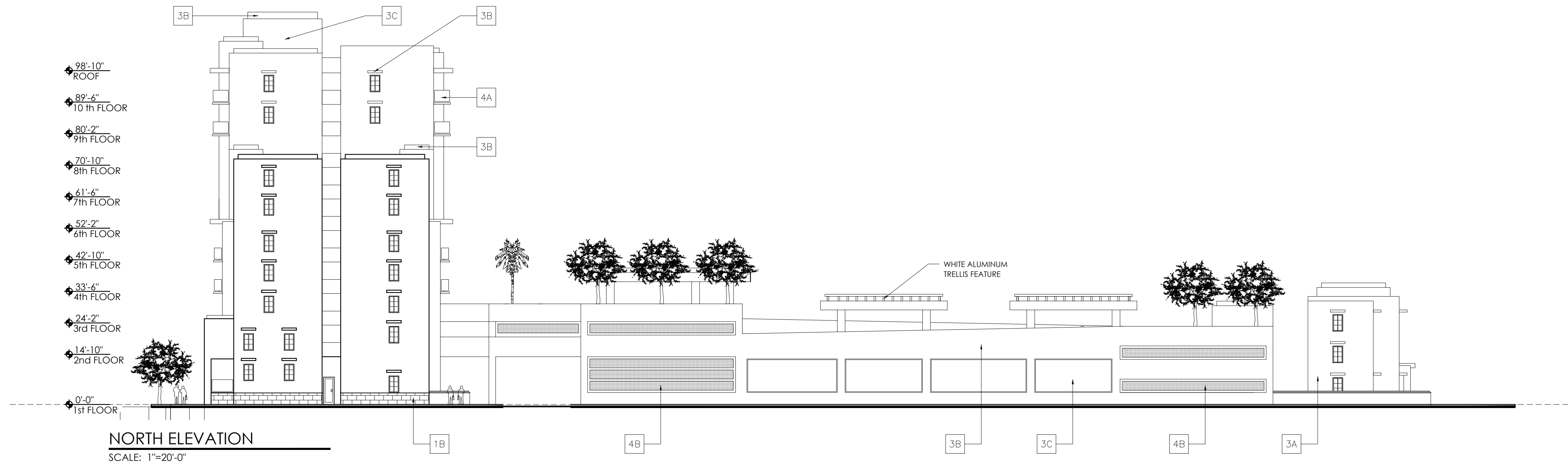
## CONCEPTUAL SITE PLAN

DRC SUBMITTAL

A-6.0

SITE PLAN / FIRST FLOOR PLAN  
SCALE: 1"=20'-0"





CONCEPT GARAGE SCREEN #4B  
N.T.S.



CONCEPT COLOR GLASS #5A  
N.T.S.



CONCEPT COLOR GLASS #5B  
N.T.S.

## PINNACLE AT TARPON RIVER

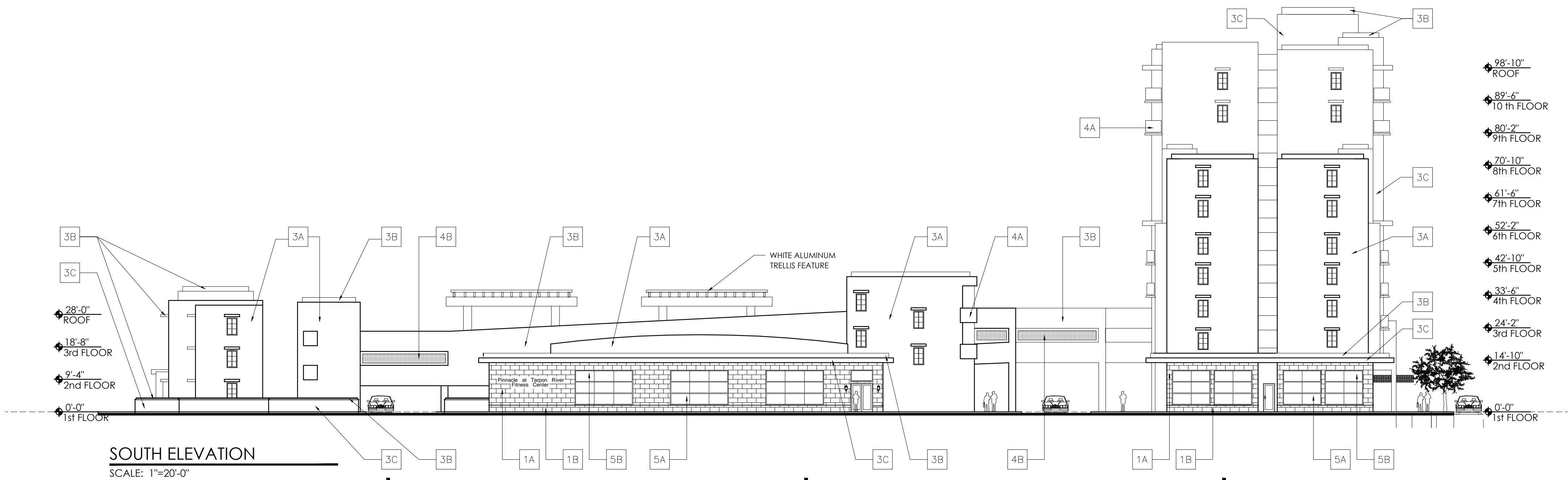
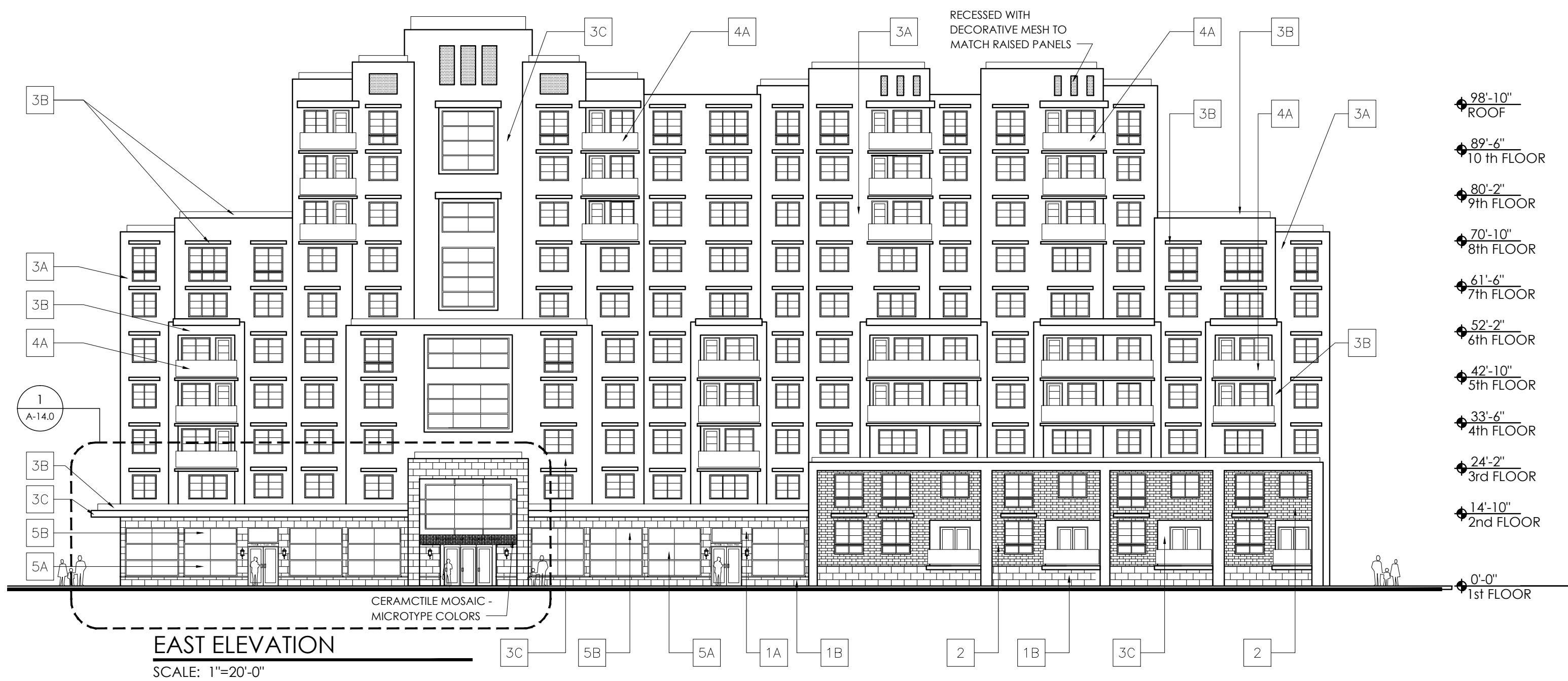
805 S.E. 3rd AVE  
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REVISIONS

## ELEVATIONS /COLOR SCHEME / MATERIALS

DRC SUBMITTAL





BUILDING BASE MATERIAL #1  
N.T.S. CERAMIC OR STONE



TOWNHOUSE WALL MATERIAL #2  
N.T.S. RANDOM PLANK - CERAMIC OR STONE

COLOR LEGEND				
COLORS BASED ON BEHR PAINT				
ID.	COLOR NUMBER	COLOR NAME	LOCATION	SAMPLE
3A	ECC-12-2	MEADOW GLEN	WALLS - BODY #1	
3B	ECC-24-2	EASTERN WIND	WALLS - BODY #2	
3C	ECC-23-1	GOLDEN HAYSTACK	WALLS - BODY #3	



STUCCO FINISH AND COLORS #3  
N.T.S.



CONCEPT BALCONY RAILING #4A  
N.T.S. STAINLESS STEEL

## PINNACLE AT TARPON RIVER

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FT. LAUDERDALE, FLORIDA  
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DATE: 02/22/13

R E V I S I O N S

## ELEVATIONS /COLOR SCHEME / MATERIALS

DRC SUBMITTAL



**CITY OF FORT LAUDERDALE**

## **DEVELOPMENT REVIEW COMMITTEE (DRC) COMMENT REPORT**

**Meeting Date: March 12, 2013**

**Project Name: Lofts at Tarpon River, LLC / Pinnacle at Tarpon River**

**Case Number: 36R13**

**Request: Site Plan Review / One Hundred Twelve Multi-Family Units**

**Location: 805 SE 3<sup>rd</sup> Avenue**

**Zoning: Regional Activity Center – City Center (RAC-CC)**

**Land Use: Downtown Regional Activity Center**

**Project Planner: Donald Shockey**



**Case Number: 36R13**

**CASE COMMENTS:**

**A. Please respond to/complete Comments 1 through 13 prior to Final DRC sign off**

1. Submit, in accordance with Section 47-25.2.m.4 of the City's Codes (ULDR), a Traffic Impact Study, prepared by a professional traffic engineer registered in the State of Florida, to ascertain whether the proposed development will have an adverse impact (congestion & potential safety concerns) on the surrounding and supporting transportation infrastructure. To initiate the study, the Applicant shall 1) submit \$4,000 deposit for reviewing the study report by City's staff and traffic consultant and 2) schedule a methodology meeting prior to implementing the study. The Applicant shall forward four (4) copies the study and sufficient plans for the review by City's Traffic Engineer and City's consultant. Please show the DRC case number on all documents and transmittals. **Please contact Keela Black at (954) 828-3794** for the procedure concerning the methodology meeting and funding. In addition, should you have any questions or concerns regarding the procedures and guidelines of the traffic impact study, please contact the City's Traffic Engineer, Eric Czerniejewski at (954) 828-3796 or [eczerniejewski@fortlauderdale.gov](mailto:eczerniejewski@fortlauderdale.gov).
2. Meet the City's adequacy requirements with respect to services provided to the public (such as fire service, water, sanitary sewer, drainage, transportation, etc.), as per Section 47-25.2 of the City's Land Development Regulations (ULDR). The applicant's engineer shall assess potential demands and impacts on those services and prepare a design for each that utilizes (as is reasonable) any existing water, sewer, drainage, and street infrastructure to adequately serve this project. In the event inadequate infrastructure exists, the engineer must prepare a design that extends/expands to the nearest City system for the purpose of serving this development. The engineer must prepare service demand calculations for water and sewer and obtain a letter of service availability from City's utilities, Jorge Holguin at 954-828-5675 or [jorgeh@fortlauderdale.gov](mailto:jorgeh@fortlauderdale.gov).
3. Provide the ADA parking, access/driveway, and sidewalks/ramps in accordance with Chapter 553 of the Florida's Statutes, "Accessibility of Handicapped Persons " and latest edition of "Accessibility Requirements Manual" by Department of Community Affairs Florida Board of Building Codes and Standard and in accordance with American Disability Act (ADA).
4. Submit a signed and sealed survey showing all above ground improvements, open and notorious evidence of encroachments, utilities or rights of way and all easements, rights of way and encroachments. This survey shall be based on an abstract of title dated no earlier than ninety-(90) days prior to the date of final DRC. Copies of all relevant deeds or other documents evidencing those matters of title shown on the site plan and survey shall be provided to the City along with the survey and a copy of the title abstract. Additionally, an affidavit shall be provided by the property owner attesting that there were no additional recordings of easements or encroachments from the remainder of time from ninety- (90) days prior to the final DRC date.
5. Revise the site plan to reflect the following alteration so that adequate sight visibility and safe and non-conflicting egress from the development and surrounding street intersections are implemented.

- a. Relocate the on-street parking spaces along SE 8<sup>th</sup> and SE 9<sup>th</sup> Streets immediately to the west of the intersection of the said streets and SE 3<sup>rd</sup> Avenue to a distance of 20 feet to the west of the proposed location.
  - b. Remove the on-street parking space along SE 9<sup>th</sup> Street, immediately to the east of the intersection of the said Street with SE 2<sup>nd</sup> Avenue.
6. Discuss the proposed on-street parallel parking spaces along SE 3<sup>rd</sup> Avenue with the Broward County Highway Construction and Engineering.
7. Show the typical angle for angled parking spaces along with all relevant dimensions for the aisles, ramp slope, pavement radii, etc on the site plan.
8. Show sight triangle for the egresses. According to ULDR, the sight triangle is a triangular shaped portion of land established for unobstructed visibility of motorists entering or leaving a street or driveway intersection in which nothing, whether stationary or moveable (i.e., vehicles, vehicular maneuvering area, signs, landscaping or objects of any kind) is permitted to be located between a height of two and one-half (2½) and eight (8) feet above the adjoining edge of pavement. The sight triangle is measured ten (10) feet from the intersection point of the edge of pavement and the driveway.
9. Prepare and submit the following civil engineering drawings, signed and sealed by a Florida registered civil engineer.
  - b. Paving, Grading, and Drainage Plan, including the sizes and dimensions of all proposed system.
  - c. Water and Sewer Plan, including any existing water main, force mains, gravity mains, etc. (show all pipe sizes on the plan)
10. Provide storm runoff calculations, signed and sealed by a Florida registered professional engineer. The calculations shall show how the minimum road crown, the perimeter berm, and finished floor elevations are met and how the 25-year, 3-day storm event is maintained on site with zero discharge to right-of-way and adjacent properties.
11. Provide typical cross sections and section profiles along all property lines. Also show how the existing and proposed grades will tie to one another.
12. Show spot elevations along the perimeter (property lines) on the paving and grading plan.
13. Show utilities on the lighting and landscaping plans for potential conflict with the design.

**C. Respond to/complete Comments 14 through 27 prior to Engineering Permit Approval**

14. Please be advised that all the proposed improvements within or adjacent to the Broward County Trafficway (NE 3<sup>rd</sup> Avenue) and City's right-of-ways are subject to issuance of permits from those agencies, and the execution of an agreement that authorizes the Broward County and City for removing those improvements for any public purpose in the future.
15. Dedicate additional right-of-way to roadways surrounding the development (SE 8<sup>th</sup> and 9<sup>th</sup> Streets) to satisfy the requirements of Section 47-24.5.D.1.I of the ULDR. According to this section, all minor roadways shall have a minimum of 50-foot wide right-of-way.



16. Dedicate a corner chord of 25-foot radius to the intersection of SE 8<sup>th</sup> and 9<sup>th</sup> Streets with SE 3<sup>rd</sup> Avenue in accordance with Section 47-24.5.P.vi.c of the ULDR.
17. Provide documentation from the Broward County Planning Council (BCPC) verifying whether the site requires platting/replatting. The documents from BCPC shall be submitted to the City's engineering reviewer. The BCPC may be contacted at (954) 357-6695.
18. Obtain a Transportation Concurrency Satisfaction Certificate from the Broward County Planning and Environmental Regulation Division (BCPERD). Please contact Evangeline Kalus at (954) 357-6632 or [EKALUS@broward.org](mailto:EKALUS@broward.org) at BCPERD to determine whether the project is subject to the Transportation Concurrency Fees. In addition, please contact Pierre Dogniaux with the Broward County Transit Division at (954) 357-8304 to determine what (if any) improvements are suggested to ensure mobility needs are adequately met for this proposed site.
19. Satisfy the requirements of the minimum standards for the State of Florida Notice of Intent (FAC 62-621.300(4)(b) per the Florida Department of Environmental Protection (FDEP) criteria. Notice of Intent is required for sites with areas of one (1) acre or larger that have the potential for discharge of sediments to surrounding surface waters or drainage systems which discharge indirectly to those surface waters as classified or otherwise identified in the Florida Administrative Code (FAC). Therefore, the Applicants whose projects disturb one or more acres of soil or whose projects disturb less than one acre but are part of a larger common plan of development that in total disturbs one or more acres, are required to obtain coverage under the General Permit for Discharges of Storm Water Associated with Construction Activity
20. Obtain a general or surface water management license from the Broward County Department of Environmental Protection (BCDPEP). Route certified calculations with Paving & Drainage plans to engineering reviewer.
21. Verify the means for the demolishing the existing structures on the property so that appropriate timely notice and coordination can be executed with the City, Public Services, and the utility companies to control the impacts from the demolition.
22. Prepare an appropriate staging plan, which includes phasing and information regarding the site layout of the temporary construction measures. The purpose of this plan is to identify the temporary construction measures that will be used to protect the general public, adjoining properties, and minimize the impact of the construction on neighboring transportation system, landscaping, right-of-way, and businesses. The items to be addressed by the staging plan shall include but not limited to the following: 1) Show construction phasing (with narrative for each phase along with roadways utilized for materials delivery) and immediate boundaries of the site: dimensions and names of all streets and alleys, direction of travel, bike lanes, on-street parking and sidewalks; 2) Show location of Job trailers or construction offices for the staff, general contractor, and subcontractors; 3) Show location, type and size of temporary construction fencing, including locations of gates and gate swing radii. If corners of fence correspond with cross streets, propose a fence boundary that will not obstruct sight lines for motor vehicles, 4) Show location and type of construction crane(s), including span radius; 5) Indicate the location and number of portable rest rooms, dumpsters, and trash chutes; 6) Show location of the Fire Department Connection during construction and a water supply (hydrant) in accordance with N.F.P.A.1, Chapter 29; 7) Show location of any sidewalk to be closed or protected as required by Chapter 33

of the Florida Building Code. 8) Indicate location and time frame of any street closures (part or all of street) with a detour signage plan meeting MUTCD standards, prepared by a Certified Traffic engineer or technician. Please be advised that the City Commission approval will be required for detours and street and sidewalk closures lasting over 72 hours, and the said approval may take eight (8) weeks or more; 9) Show all existing parking spaces that may be affected by the construction (or construction phasing) and indicate all parking spaces that would be included within proposed construction boundaries for each phase; 10) Show location of parking for inspectors and construction personnel. Include all off site parking-location, period of lease and number of spaces leased. If shuttle will be provided between parking and job site – give shuttle schedule and show route of shuttle; 11) Show loading/unloading areas for material delivery to include entry and exit path of vehicles without backing into street; 12) Show routes that delivery trucks will be instructed to follow when traveling to and from the site. All efforts should be made to avoid residential and/or small, merchant lined streets. This may be shown on a separate drawing, prepared at an appropriate scale in order to illustrate route through the City; 13) Indicate where and how concrete trucks will stage during multiple yardage pours; 14) Show location and type of silt fencing for dust control; 15) Indicate the locations of storm inlets. If physical measures will be taken to protect inlets, illustrate these on the plan; 16) Show locations of truck wash-off area and procedures, including tires and concrete chutes; 17) Indicate schedule for rout line street sweeping of periphery of construction site; and 18) Indicate dewatering protocol. Furthermore, please note that the City's roadway system affected (fatigued or degraded) by the construction activities shall be mailed and resurfaced to the City's satisfaction upon the completion of the construction.

23. Obtain a dewatering permit from the Broward County Environmental Protection Dept. (EPD). This permit is required only if the site is within 1/4 mile of a known contamination site. The EPD contact is David Vanlandingham (dvanlandingham@broward.org or 954/519-1478). He prefers to be notified via email for the quickest response. You can view their standard operation procedures for dewatering at [http://www.broward.org/pprd/cs\\_dewatering.htm](http://www.broward.org/pprd/cs_dewatering.htm).
24. Apply and obtain a SFWMD dewatering permit activities if off-site discharge is anticipated. Any planned activity that requires dewatering needs to be reviewed by SFWMD. In many cases, this could involve an email to SFWMD that include a description of the activity. If no permit is required, SFWMD will let you know. The SFWMD contact person is Steve Memberg (smemberg@sfwmd.gov).
25. Pay capital expansion fees for water and wastewater treatment, distribution, and disposal at the rate identified in Ordinance C-05-21. The fee will be calculated from the basis of how many equivalent residential connections (ERC) result from the design minus existing ERCs. In the event the development team can demonstrate existing units for credit the net fee is reduced following confirmation of any existing flows, and paid prior to the issuance of the building permit. The cost per each ERC is \$1,368 for water and \$651 for wastewater. The cost per each ERC is \$1,368 for water and \$651 for wastewater. For additional information on the said fees, contact Ms. Monica Santisi at (954) 828-5990.
26. Please note that any lighting onsite or in the City's right-of-way (ROW) or both, shall be approved and authorized by the City's Engineering and /or Building (Electrical Staff) Department. Any lighting placed in the ROW shall be powered by an approved lighting circuit from the proposed development or FPL source, and will require an engineering permit. Any new lighting system powered by private source shall require a revocable license agreement with the City along with a "disconnect" that shall be accessible by public work staff in or near the right of way. Please contact the City Engineer's office, either Scott Sundermeier at (954) 828-5262 or Arlen Erdman at (954) 828-5963, for information concerning the lighting within the City's Right-Of-Way.



27. Obtain an engineering permit before installing, removing, or relocating poles (lighting or electrical) within the City's right of way. Permanent or temporary relocations or removals shall be reviewed and approved by the City.

**Case Number:** 36R13

**CASE COMMENTS:**

Please provide a response to the following:

1. Where is the location of the fire command room?
2. Make a note, building will be designed to FBC section 403.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. None

Please consider the following prior to submittal for Building Permit:

1. None



**Case Number: 36R13**

**CASE COMMENTS:**

Please provide a response to the following:

1. The street tree scheme for the 9<sup>th</sup> St. frontage should be revised to include at least 50% shade trees. The Landscape Plan shows palms only.
2. Use “signature palms” at the 3<sup>rd</sup> Ave. and 9th St. intersection, as per Master Plan guidelines.
3. As possible, it is recommended that street trees be provided on both sides of the sidewalk to provide a canopy effect.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

1. Make sure all utilities that would affect proposed planting (both above and belowground) are shown on the Landscape Plan.
2. Show the sight triangles correctly on the Landscape Plan. The 25’ triangle at the intersection of two streets is measured from the intersection of the street property lines, not from the intersection of the pavement edges. There can be no plant material that obstructs visibility between 30” and 8’ in the sight triangle. Where a driveway intersects the street, the 10’ triangle is measured from the pavement edges.
3. Provide a detail for the use of structural soil for the street tree installations.
4. Add rain sensor requirement to the irrigation note.
5. Planting in the 3<sup>rd</sup> Ave. right-of-way subject to Broward County approval, 9<sup>th</sup> St. ROW the City’s Engineering Dept. approval.
6. All Tree Preservation Ordinance requirements apply. Any trees or palms that would be considered good candidates for relocation should be relocated.
7. Signoff plans to be sealed by the Landscape Architect.

:

Additional Comment:

The Site Plan notes that all electrical lines to be buried. This is an absolute requirement for the 3<sup>rd</sup> Ave. frontage as the Landscape Plan specifies Liveoaks, which require a 30’ setback from overheads per FPL guidelines.

**Case Number:** 36R13

**CASE COMMENTS:**

Please provide a response to the following:

- 1) The applicant is strongly encouraged to contact all neighborhood associations located within three hundred feet (300') of the development site, to advise of this proposal (a map and listing of all neighborhood associations are listed on the City's website: <http://www.fortlauderdale.gov/neighborhoods/index.htm>). Please provide documentation confirming that the proposal was presented.
- 2) The site is designated Downtown Regional Activity Center (RAC) on the City's Future Land Use Map. The proposed use is permitted in this designation. This is not a determination on consistency with Comprehensive Plan Goals, Objectives and Policies.
- 3) The proposed project requires review and approval by the City Commission. A separate submittal is required for City Commission review, and the applicant is responsible for all public notice requirements (Sec. 47-27). Note: The City Clerk's office requires 48 hours notice prior to a Commission meeting if a computer presentation is planned, i.e. *Power Point*, to be provided on CD or flash drive and a copy submitted to the City Clerk, contact the project planner Donald Shockey for more information (954-828-5537)
- 4) Verify that copy of plat is the most current recorded plat, including notes and amendments, for the proposed site. Provide documentation from the Broward County Planning Council verifying that the site does not require platting or replatting. If replatting or platting is not required, contact the Development Review Services Section of the Planning and Environmental Regulation Division of Broward County at (954) 357-6637 to ensure that proposed project is consistent with the latest recorded plat restriction.
- 5) It is recommended the following pedestrian and bicycle-related comments be addressed:
  - a) Consider installation of a B-cycle bike-sharing station as an amenity for residents. Contact Bob Burns, President, B-cycle, 940-478-2191, [bburns@bcycle.com](mailto:bburns@bcycle.com).
  - b) Send email to [kwalford@fortlauderdale.gov](mailto:kwalford@fortlauderdale.gov) for information on bicycle parking standards and to obtain a copy of the Assoc. of Pedestrian and Bicycle Professionals [APBP] Bicycle Parking Guidelines and Broward County End-of-Trip Bicycle Facility Guide
- 6) On roof level plan, indicate the location and spot elevation of all mechanical equipment to verify adequate screening. In addition, indicate all mechanical equipment within the subject site on the site plan and elevations where applicable.
- 7) If a temporary construction/sales trailer is needed for this project, provide the details and location of the trailer on a separate site plan, to avoid additional review in the future. Verify details and location with the Building Representative.
- 8) An additional follow-up coordination meeting may be required to review project changes necessitated by the DRC comments. Prior to routing your plans for Pre-City Commission sign-off, please schedule an appointment with the project planner (call 954-828-8980) to review project revisions and/or to obtain a signature routing stamp.
- 9) This project is subject to the requirements of Broward County Public School Concurrency. The City will notify the School Board Superintendent or designee of this proposal. Prior to submitting an application for placement on a Planning and Zoning Board or City Commission agenda, a written response from the School Board shall be provided by the applicant. Prior to application for final DRC approval, please provide confirmation from the School District that the residential development is exempt or vested from the requirements of public school concurrency, or a School Capacity Availability Determination (SCAD) letter that confirms that capacity is available, or if capacity is not available, that mitigation requirements have been satisfied.



- 10) In regard to physical, communication, and radar obstructions, the FAA requires a review for interference by the proposed construction. Provide a letter from the FAA indicating that such review has been performed. FAA approval must be obtained prior to Pre-PZ, Pre-CC and/or Final-DRC sign-off unless otherwise deemed unnecessary by the City Airport Manager or designee.
- 11) Garage internal lighting fixtures and glare cannot be visible from neighboring properties. Parking structure must comply with Ord. 00-65.
- 12) Pursuant to Section 47-22.4.C.8 provide a master sign plan detailing the following:
  - a) Location and orientation of all proposed signage;
  - b) Dimensions of each proposed sign (height, width, depth, etc.);
  - c) Proposed sign copy; and,
  - d) Proposed color and materialsPlease note signage requires a separate permit approval.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Provide a written response to all DRC comments within 180 days.

Please consider the following prior to submittal for Building Permit:

All construction activity must comply with Sec. 24-11, Construction sites. Contact John Madden, Chief Building Inspector, at 828-5255 to obtain his signature on the final DRC plans.

**CITY OF FORT LAUDERDALE**  
**DOWNTOWN MASTER PLAN DESIGN GUIDELINES**  
 Design Review Team (DRT) Comments

**Case Number:** 36R13                      **Zoning District:** DRAC  
**Project Name:** Pinnacle at Tarpon River                      **Character Area:** Near Downtown  
**Project Address:** 805 SE 3<sup>rd</sup> Avenue                      **Date of Review:** March 12, 2013

PRINCIPLES OF STREET DESIGN		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
S1	Maintain fine-grained street grid: discourage vacations.	✓			
S2	Utilize Traffic Calming rather than blocking streets.	✓			
S3	Maximize on-street parking except on major arterials.	✓			
S4	Provide adequate bike lanes in a planned network (next to on street parking: 5ft; next to travel lane: 4ft).	✓			
S5	Maximize street trees on all Downtown Streets. <i>Replace palms on SE 9<sup>th</sup> Street with shade trees</i>		✓		
S6	Encourage location of primary row of street trees between sidewalk and street.	✓			
S7	Maximum spacing for street trees: Palms - 22ft.; Shade trees – 30 ft.	✓			
S8	Minimum horizontal clearance (from building face) for trees: Palms- 6ft.; Shade trees - 12ft.	✓			
S9	Encourage shade trees along streets, palm trees to mark intersections. <i>See S5.</i>		✓		
S10	Eliminate County "corner chord" requirement not compatible with urban areas.			✓	
S11	Encourage curb radius reduction to a preferred maximum 15 ft; 20 ft for major arterials.	✓			
S12	Discourage curb cuts on "primary" streets.	✓			
S13	Encourage reduced lane widths on all streets.	✓			
S14	Encourage reduced design speeds on all RAC streets (15 - 40 mph).	✓			
S15	Encourage fixed Rights-of-Way and setbacks for all Downtown streets (to eliminate uncoordinated City setback and County easement requirements). Note: Downtown local streets have varying ROW's and section design may need to be flexible to respond to the specific ROW conditions.	✓			
S16	Bury all power lines in the Downtown Area.	✓			

PRINCIPLES OF BUILDING DESIGN		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
B1	Framing the street: building "streetwall" should generally meet setback line (within a percentage).	√			
B2	Framing the street: encourage open space site requirements for use as pedestrian public space instead of unusable, leftover 'green perimeter'. <i>Since townhouse unit front entrances have been removed, recommend decreasing width of adjacent green strip from 5 to 3 feet and using groundcover and very low plants rather than green buttonwoods which can grow significantly high.</i>				√
B3	Framing the street: minimum and maximum building 'streetwall' height (see character area guidelines for specifics).	√			
B4	Framing the street: encourage maximum building 'streetwall' length of 300ft.	√			
B5	Preferred maximum 'floorplate' area for towers (see character area guidelines for specifics).	√			
B6	Where towers are located on Primary (>60ft wide) and Secondary (< or = 60ft wide) Streets, the towers are encouraged to orient towards the Primary Street.	√			
B7	Where towers are located on streets < or = 60ft, increased setbacks from the 'shoulder' are encouraged to reduce the impact on the street.	√			
B8	Surface parking: discourage frontage and access along 'primary' street.			√	
B9	Parking garages: encourage access from secondary streets and alleys.	√			
	Encourage street level activities and minimize visual exposure of parking, with active space on the ground floor of a parking garage.	√			
	Upper floors of a parking garage should not be visible along primary streets, waterways, and parks. Active spaces on the upper floors are encouraged as a preferred design.	√			
B10	Encourage main pedestrian entrance to face street.	√			
B11	Maximize active uses and 'extroverted' ground floors with retail in strategic locations. Some retail use at the ground level to supplement the proposed community uses for residents would be preferable to help activate the pedestrian experience.	√			
B12	Encourage pedestrian shading devices of various types.	√			



B13	Encourage balconies and bay windows to animate residential building facades.	✓			
B14	In residential buildings encourage individual entrances to ground floor units (particularly in the Urban Neighborhood Character Area).	✓			
B15	High rises to maximize active lower floor uses and pedestrian-oriented design at ground floor.	✓			
B16	Building Design guidelines do not apply to Civic Buildings and Cultural Facilities.			✓	
B17	Discourage development above right-of-way (air rights).			✓	
B18	Mitigate light pollution	✓			
B19	Mitigate noise pollution. <i>Show location of mechanical equipment on roof plan.</i>				✓
B20	Vertical open space between towers on adjacent lots: Towers are encouraged to maintain vertical open space along side and rear lot lines: minimum horizontal distance of 30 ft (abutting property owners can coordinate tower placement as long as maintain 60 ft clearance).	✓			
B21	Vertical open space between multiple towers on a single development site: no less than 60 ft apart.			✓	
B22	Residential: Encourage minimum ground floor elevation of 2 ft above public sidewalk level for individual ground floor entrances to private units.	✓			
B23	Avoid drive thrus in the wrong places.			✓	
B24	The Fifth Façade: Encourage green roofs as visual amenities that provide a combination of usable, landscaped spaces (recreation & open space benefits) and sustainable roof treatments (environmental benefits).	✓			
<b>QUALITY OF ARCHITECTURE</b>		<b>Meets Intent</b>	<b>Doesn't Meet Intent</b>	<b>N/A</b>	<b>More Information Needed</b>
Q1	Skyline Drama: Encourage towers to contribute to the overall skyline composition.	✓			
Q2	Expressive Tops: Encourage expressive tops for tall buildings above 37 stories in Near Downtown and Downtown Core.			✓	
Q3	Durability and Quality of Materials: Encourage high quality materials for the entire building, with special emphasis on detailing and durability for the first 2 floors.	✓			
Q4	Respect for Historic Buildings.			✓	
Q5	Parking Podium Façades: Where structured parking must be exposed to the street, exceptionally creative solutions should be explored.	✓			

Q6	Response to Natural Environment: Encourage architecture to respond to the unique nature of the south Florida environment (solar orientation, wind direction, rain). Examples: Open breezeway corridors oriented toward prevailing winds; energy efficient glazing; above ground stormwater capture and re-use through bio-swales and rain gardens; solar roof panes/awnings.	√			
Q7	Creative Façade Composition: Encourage a rich layering of architectural elements throughout the building, with special attention to facades below the shoulder level.	√			
Q8	Original, Self-Confident Design: Encourage a range of architectural styles that each create a strong identity, strive for the highest quality expression of its chosen architectural vocabulary.	√			
STORE FRONTS		Meets Intent	Doesn't Meet Intent	N/A	More Information Needed
SF1	Retail Location Strategy: Encourage ground floor retail in preferred locations.	√			
SF2	Encourage a combination of storefront styles and types in adjacent buildings, or within single buildings, to create variety and visual interest at the street level.			√	
SF3	Encourage durable materials for ground floor retail and cultural uses.	√			
SF4	Encourage 15 ft minimum floor-to-floor height and encourage interior ground floor flush with adjacent public sidewalk.	√			
SF5	Encourage significant glass coverage for transparency and views. Encourage restaurants to provide clear visual and physical connections to outdoor seating.	√			
SF6	Encourage pedestrian shading devices of various types (min 5 ft depth).	√			
SF7	Encourage multi-level storefront displays to disguise unfriendly uses or blank walls.			√	
SF8	Encourage well-designed night lighting solutions.	√			

CHARACTER AREAS		Meets Intent	Doesn't Meet intent	N/A	More Information Needed
<b><i>Near Downtown</i></b>					
2A	Frame the street with appropriate streetwall heights: Shoulder: 3-7 floors, Non-tower option: 9 floors max with min 15ft stepback on portion over 7 floors. No max floorplate up to 9 floors.	√			
2B	Encourage maximum building height of 30 floors.	√			
2C	Encourage slender towers to complement the skyline and provide more light and air to streets and open spaces below.	√			
Tower guidelines: <i>Non-residential:</i> preferred 32,000GSF floorplate max. <i>Residential:</i> Buildings up to 15 floors: preferred 18,000GSF floorplate max. <i>Residential:</i> Buildings up to 30 floors: preferred 12,500GSF floorplate max.		√			

## COMMENTS

1. Confirm there are no utility easement conflicts with the design of portion of project facing SE 2<sup>nd</sup> Avenue.
2. The design of the street section will generally provide for between 16 and 17 feet from the inside face of curb to the building face. Other street section elements need to be re-confirmed with the City prior to seeking approval from the County. Once plans are approved by all required parties, please verify with City staff prior to actual construction to ensure the approved plans are not conflicting with the established streetscape design at the time of construction.



**Case Number: 36R13**

Pinnacle at Tarpon River

**CASE COMMENTS:**

Please provide a response to the following:

1. Glazing should be impact resistant
2. All stairwells should egress only on first floor.
3. Fitness Center and residential units should be pre-wired for an alarm system.
4. Residential units should come equipped with a quality dead bolt locking system and a 180 degree viewfinder.
5. Exterior doors should be solid, impact resistant or metal and should be equipped with a quality secondary lock. Solid doors should have a 180 degree view finder.
6. Emergency communication devices should be strategically placed and identifiable in the parking garage.
7. Access to buildings should be controlled from the parking garage
8. Light reflection type paint should be considered to increase ability to observe movement in the garage.
9. CCTV should be considered for the following areas: entrance/exit points, the parking garage entrance/exit points, strategically placed throughout the parking garage, common areas, elevators, stairwells, and any location where money is handled or stored.
10. Maintenance, electrical and storage areas should be access controlled.
11. Lobby areas/entry into buildings should be access controlled with an intercom/video control system for visitors.
12. Appropriate CPTED lighting should be used in all aspects of project site.

**GENERAL COMMENTS:**

The following comments are for informational purposes.

It is noted the pathway leading to upper levels of the parking garage will be gated.

It is highly recommended that the managing company make arrangements for private security during construction. Please submit comments in writing prior to DRC sign off.

**Case Number: 36R13**

**CASE COMMENTS:**

Please provide a response to the following:

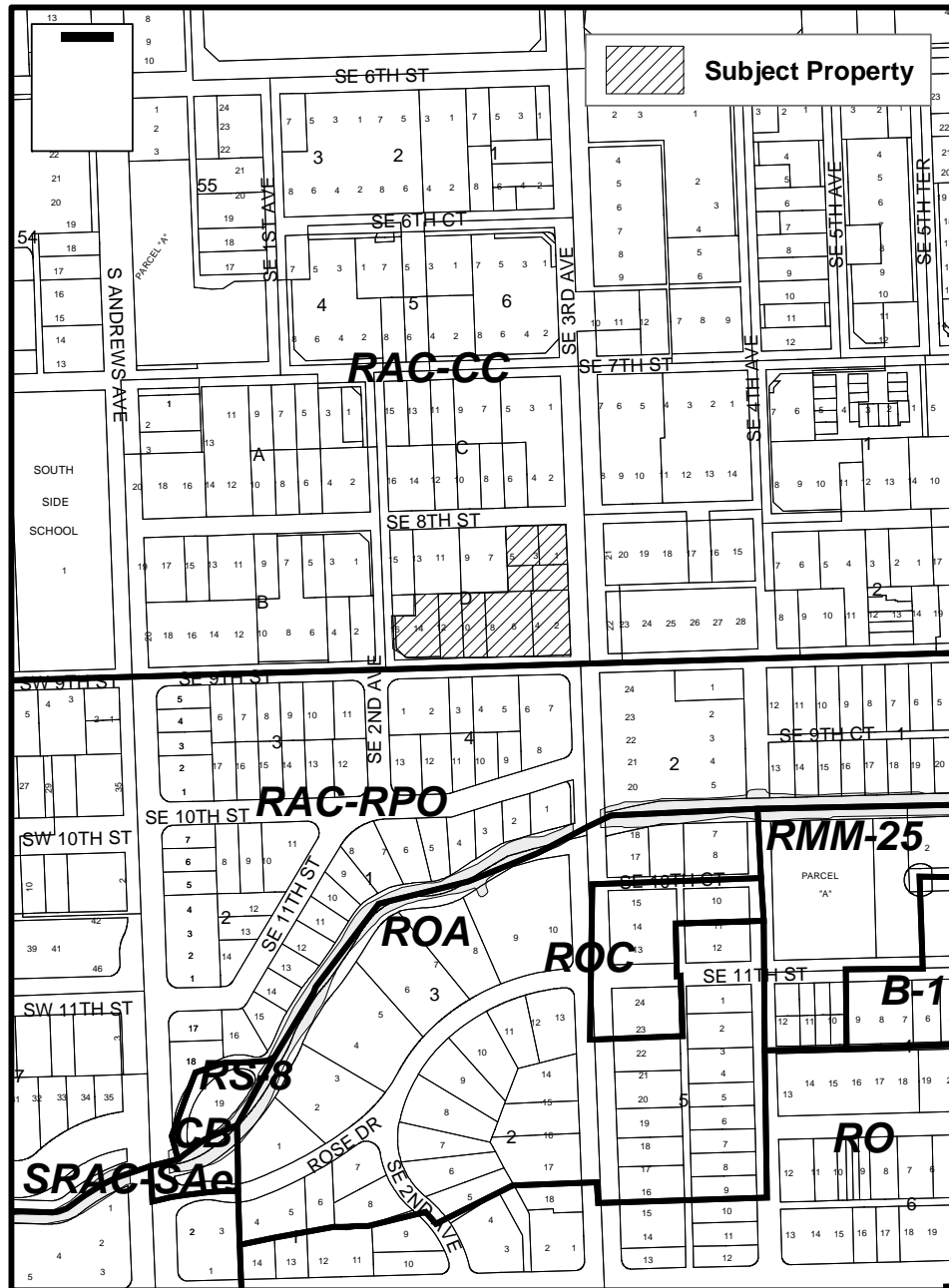
- Solid Waste services shall be provided by a contractor licensed by the city.
- Garbage, recycling, and Bulk Trash shall be provided
- Service Days no restrictions for commercial collection
- Solid Waste Collection shall be on private property
- Provide letter from chute company that proposed equipment will meet the capacity needs of the building

**GENERAL COMMENTS:**

The following comments are for informational purposes.

Please consider the following prior to submittal for Final DRC:

- Garbage, Recycling, and Bulk Trash collection shall be provided.
- Solid Waste services must be obtained from a company licensed by the City of Fort Lauderdale.
- Recommend trash chute accommodate the collection of single stream recyclables.
- Section 47.19(4) Dumpsters: location and construction of enclosures to Promote the public health and safety, and mitigates the visual impact upon the community.
- Section 17.7 Noise Restriction - *Commercial sanitation operations*. No person shall cause, allow, or permit the loading, unloading, opening or otherwise handling boxes, crates, containers, garbage cans, or recyclable containers, between the hours of 10:00 p.m. and 7:00 a.m. daily when such operations are conducted on a property located within two hundred fifty (250) feet of a residential use.
- TIPS: dumpster enclosure- concrete pad, decorative block wall, gates hung independently, protective bollards, secondary pedestrian side entry, high strength apron and driveway approach, night light, hot water, hose bib, drain, low circulating ventilation for dampness, weep holes, landscaping, smooth surface walkway to accommodate wheeled containers.
- TIPS: dumpster enclosure (two dumpsters) – consider a second container for single-stream recycling material or show on drawing accommodations for two to four 96-gallon recycling carts.
- TIPS: recycling reduces the amount of trash your business creates and it is the best way to reduce monthly waste disposal costs and improve your company's bottom line. We recommend a smaller garbage container and larger recycling dumpster to accommodate established recycling goals.



0 62.5 125 250 375 500 Feet

36R13